

TEMPELHOF

NO. 1 HOLROYD COURT, ST KILDA EAST

PROJECT NO. 2101

SECTION 57A AMENDMENT ISSUE: 11/02/2022

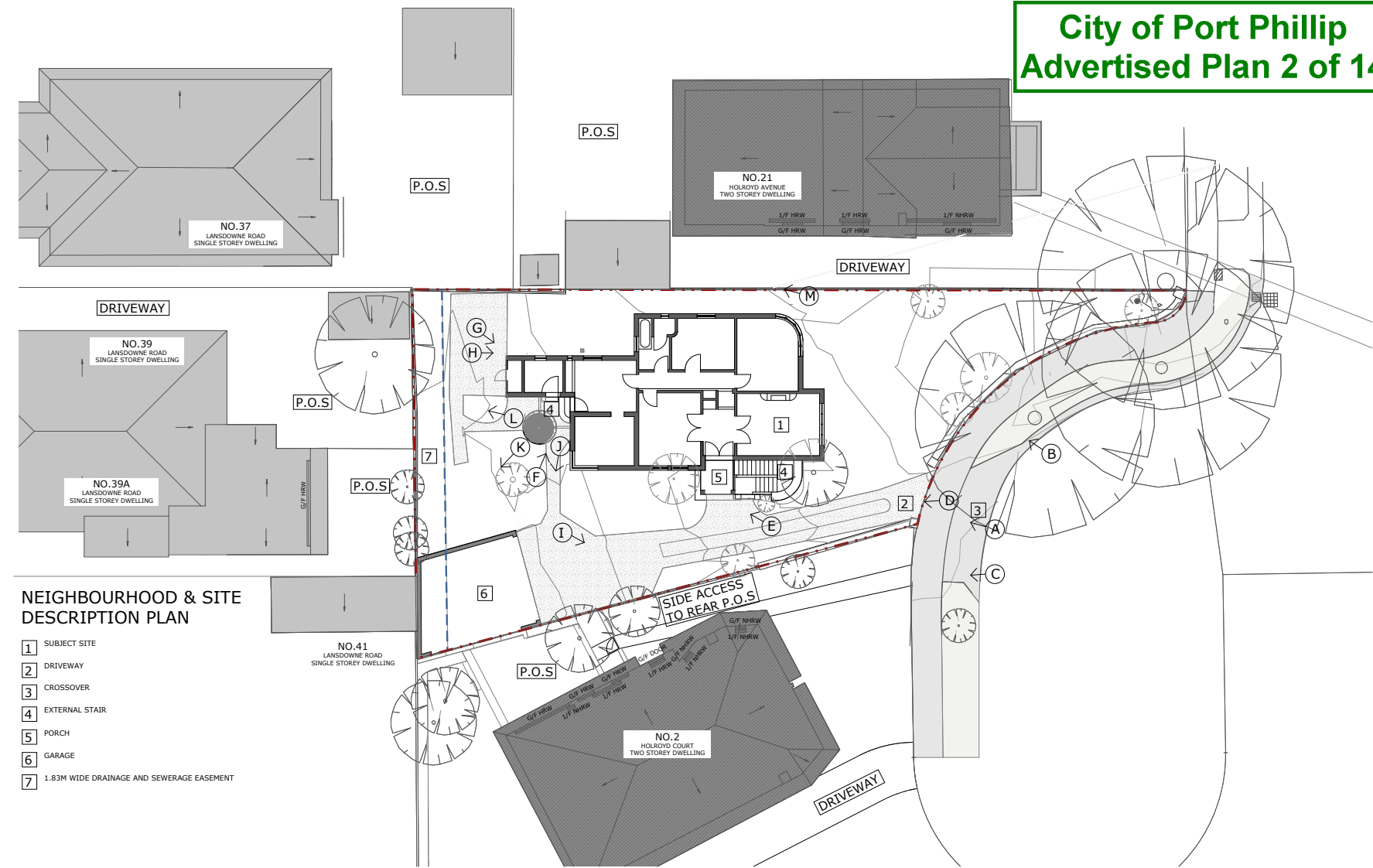


PORT PHILLIP PLANNING DEPARTMENT Date Received: 11/02/2022

DRAWING NO.	DRAWING NAME	SCALE
TP001	NEIGHBOURHOOD AND SITE DESCRIPTION PLAN	1:200
TP002A	SITE PHOTOS - SHEET 01	-
TP002B	SITE PHOTOS - SHEET 02	-
TP003	DESIGN RESPONSE PLAN	1:200
TP100	DEMOLITION PLAN - GROUND FLOOR	1:100
TP101	DEMOLITION PLAN - FIRST FLOOR	1:100
TP102	GROUND FLOOR PLAN	1:100
TP103	FIRST FLOOR PLAN	1:100
TP104	ROOF / STORM CALCULATIONS PLAN	1:100
TP200	EXISTING ELEVATIONS - SHEET 1	1:100
TP201	EXISTING ELEVATIONS - SHEET 2	1:100
TP202	ELEVATIONS - SHEET 1	1:100
TP203	ELEVATIONS - SHEET 2	1:100

**City of Port Phillip
Advertised Plan 1 of 14**

City of Port Phillip
Advertised Plan 2 of 14



NEIGHBOURHOOD & SITE
DESCRIPTION PLAN

- 1 SUBJECT SITE
- 2 DRIVEWAY
- 3 CROSSOVER
- 4 EXTERNAL STAIR
- 5 PORCH
- 6 GARAGE
- 7 1.83M WIDE DRAINAGE AND SEWERAGE EASEMENT

AMENDMENT

THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT CONTRACT DOCUMENTATION. DO NOT SCALE OFF DRAWINGS. CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA. BUILDING ACT 1993 AND RELATED LOCAL AUTHORITY REQUIREMENTS AND RELEVANT AUSTRALIAN STANDARDS.	REV	DATE	NOTES	 MATYAS ARCHITECTS	MATYAS ARCHITECTS PTY LTD 17A ARMSTRONG STREET MIDDLE PARK VICTORIA 3206 TEL: 03 9896 4662 EMAIL: architects@matyasarchitects.com.au		DRAWING TITLE: NEIGHBOURHOOD & SITE DESCRIPTION PLAN	SCALE: 1:200@A3	APPROVED: JM	DATE: 11.02.22	PROJECT: TEMPELHOF
							ADDRESS: 1 HOLROYD COURT, ST KILDA EAST		DRAWN: HP	JOB NO: 2101	DRAWING NO: TP001



(A) SUBJECT SITE STREET VIEW



(B) 21 HOLROYD AVENUE STREET VIEW



(C) 2 HOLROYD COURT STREET VIEW



(D) DRIVEWAY VIEW 01



(E) FRONT PORCH



(F) REAR EXTERNAL SPIRAL STAIRCASE



(G) REAR VIEW 01



(H) REAR VIEW 02



(I) DRIVEWAY VIEW 02



(J) GARAGE VIEW



(K) VIEW OF 39A LANSDOWNE ROAD



(L) VIEW OF 39 LANSDOWNE ROAD



(M) 21 HOLROYD AVENUE GARAGE AND DRIVEWAY VIEW

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REV	DATE	NOTES

City of Port Phillip
Advertised Plan 3 of 14

MATYAS ARCHITECTS

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EMAIL: architects@mtyasarchitects.com.au

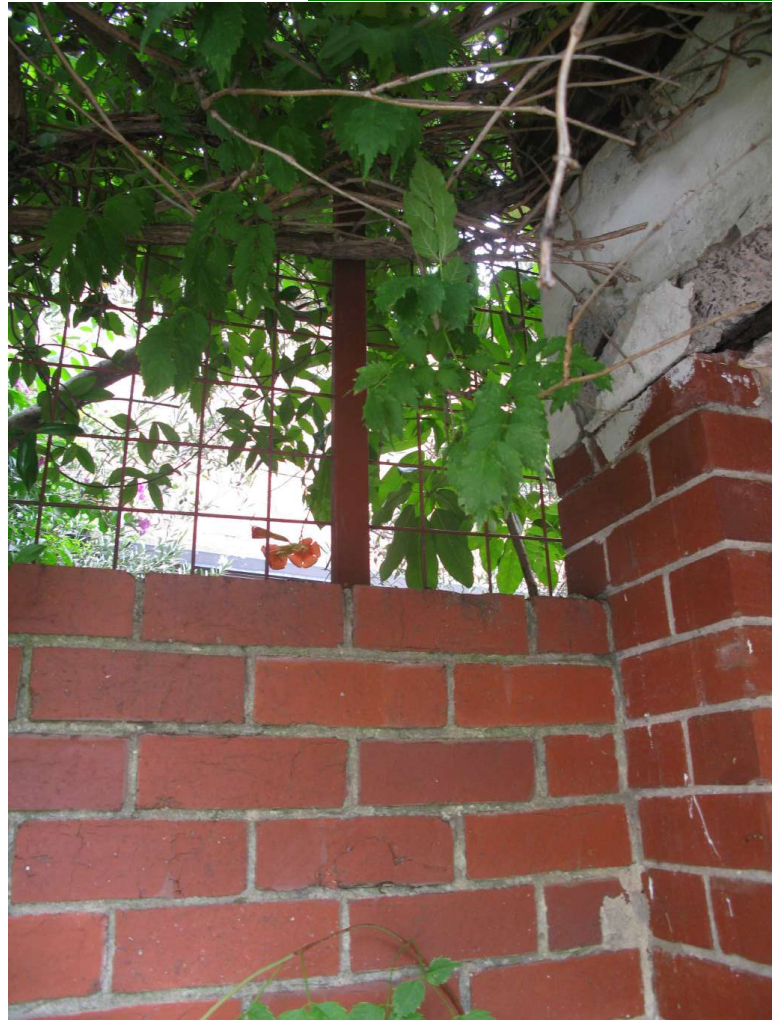
DRAWING TITLE:
SITE PHOTOS - SHEET 01
ADDRESS:
1 HOLROYD COURT, ST KILDA EAST

SCALE:
-
APPROVED:
JM
DATE:
26.07.21

PROJECT:
TEMPELHOF
DRAWING NO:
TP002A
REVISION:
-



PHOTO OF CORRODED CONCRETE BEAM WITH EXPOSED STEEL REINFORCEMENT



CLOSEUP PHOTO OF CORRODED CONCRETE BEAM WITH EXPOSED STEEL REINFORCEMENT

City of Port Phillip
Advertised Plan 4 of 14

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REV	DATE	NOTES	

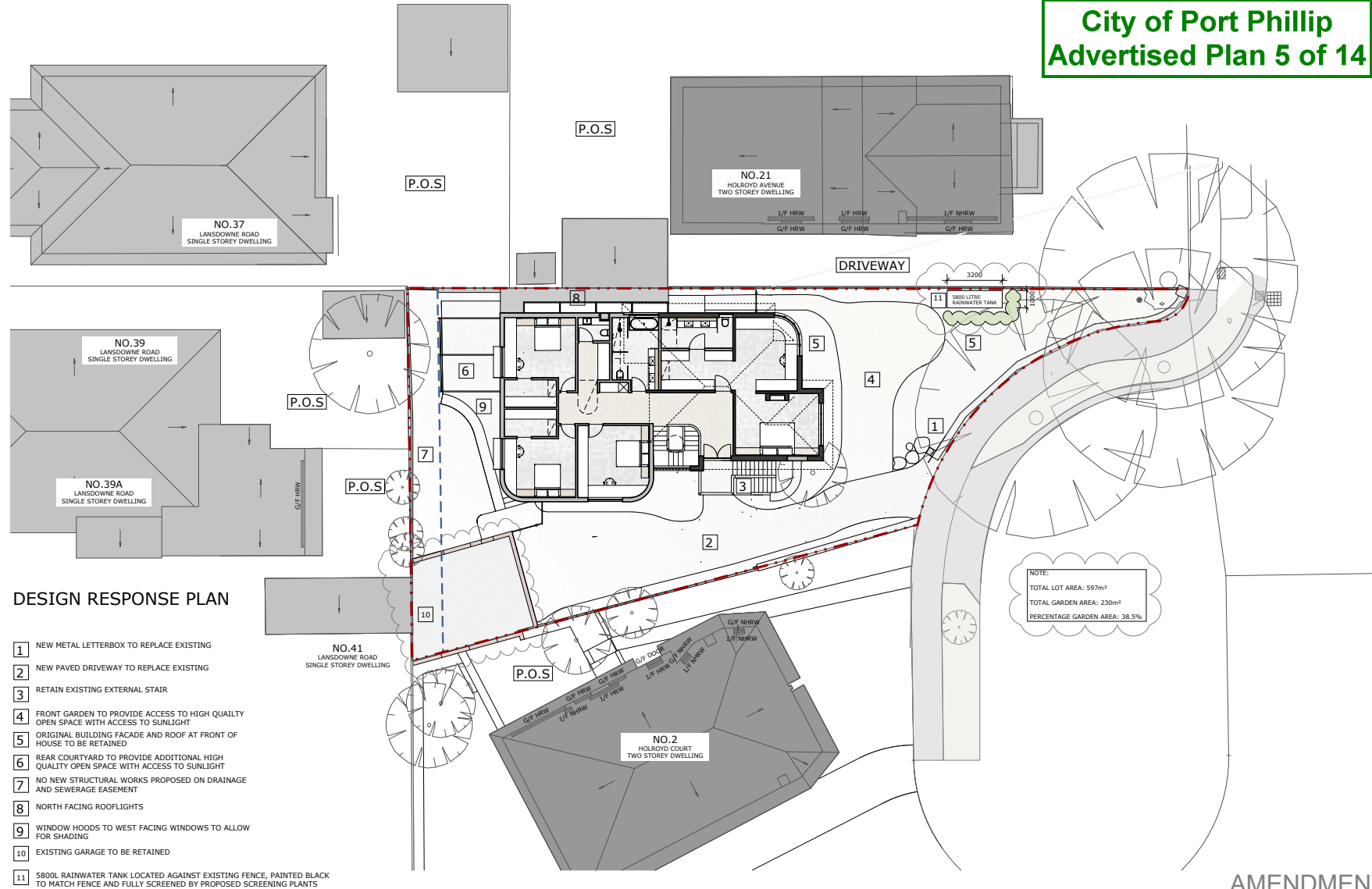


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DRAWING TITLE: SITE PHOTOS - SHEET 02	SCALE: -	APPROVED: JM	DATE: 26.10.21	PROJECT: TEMPELHOF
ADDRESS: 1 HOLROYD COURT, ST KILDA EAST	DRAWN: HP	JOB NO: 2101	DRAWING NO: TP002B	REVISION: A

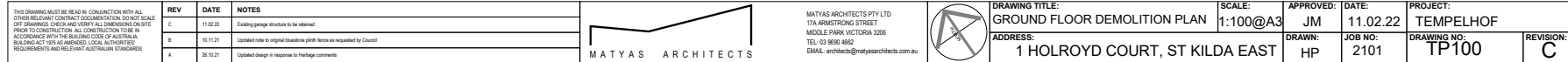
TOWN PLANNING

City of Port Phillip
Advertised Plan 5 of 14

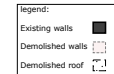


AMENDMENT

REV			DATE	NOTES	 MATYAS ARCHITECTS		DRAWING TITLE:		SCALE:	APPROVED:	DATE:	PROJECT:		
C		11.02.22	Existing garage structure to be retained. Updated driveway lines to suit new roof setback areas	DESIGN RESPONSE PLAN			1:200@A3	JM	11.02.22	TEMPELHOF				
B		10.11.21	Updated location of driveway lane	ADDRESS:			1 HOLROYD COURT, ST KILDA EAST		HP	JOB NO:	2101	DRAWING NO: TP003	REVISION: C	
A		26.11.21	Updated design in response to planning comments	MATYAS ARCHITECTS PTY LTD 17A ARMSTRONG STREET MIDDLE PARK VICTORIA 3206 TEL: 03 9606 4662 EMAIL: architects@matyasarchitects.com.au										



Attachment 1: Section 57A plans

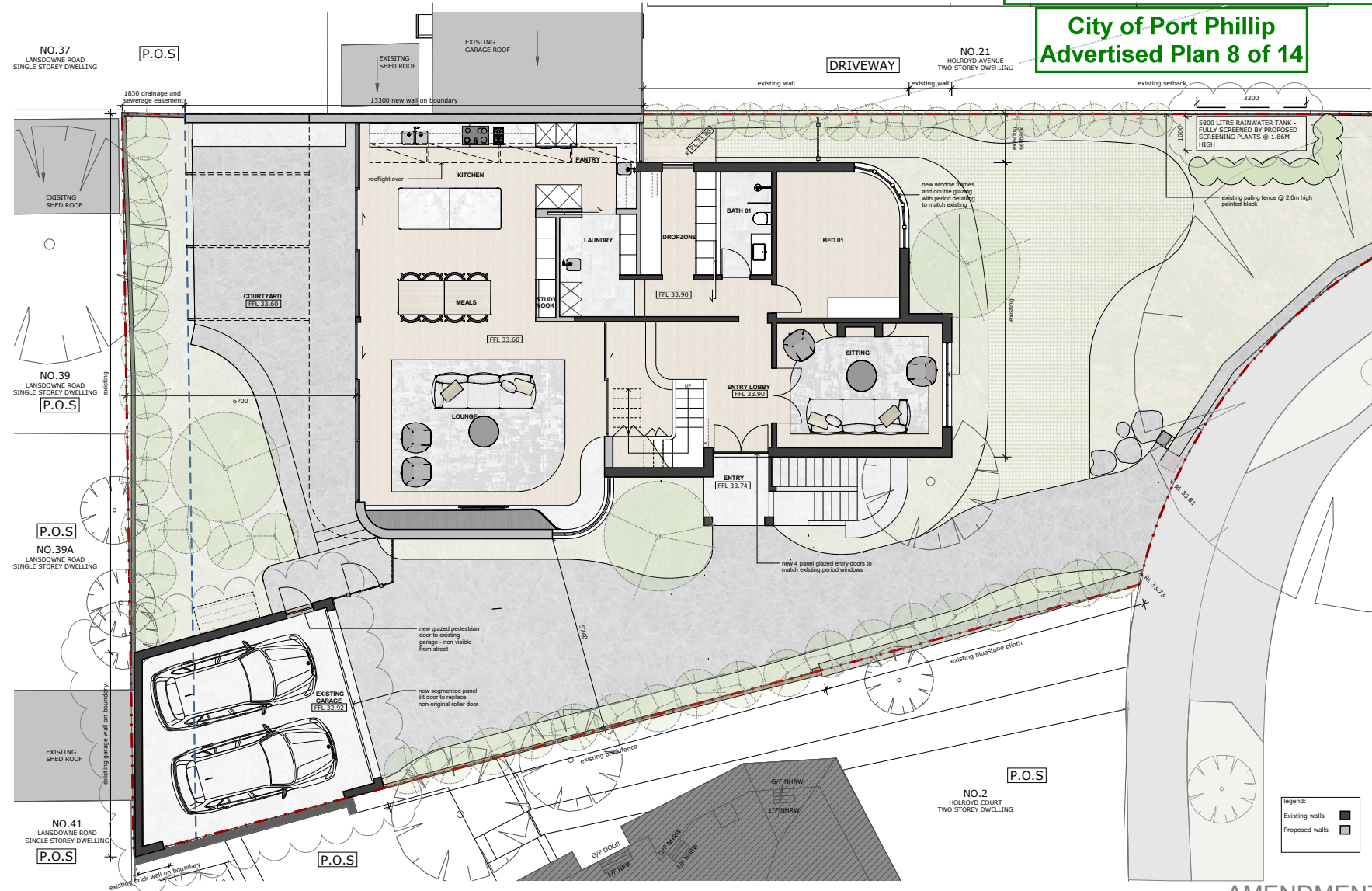


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REV	DATE	NOTES	
A	26.10.21	Updated design in response to Heritage comments	



REVISION: C

**City of Port Phillip
Advertised Plan 8 of 14**



AMENDMENT

REV	DATE	NOTES
C	11.02.22	Existing garage structure to be retained, new segmented panel lift and pedestrian garage doors, delete garage one driveway and replace it with a new driveway.
B	10.11.21	Updated location of summer house
A	26.12.21	Updated design in response to Heritage comments

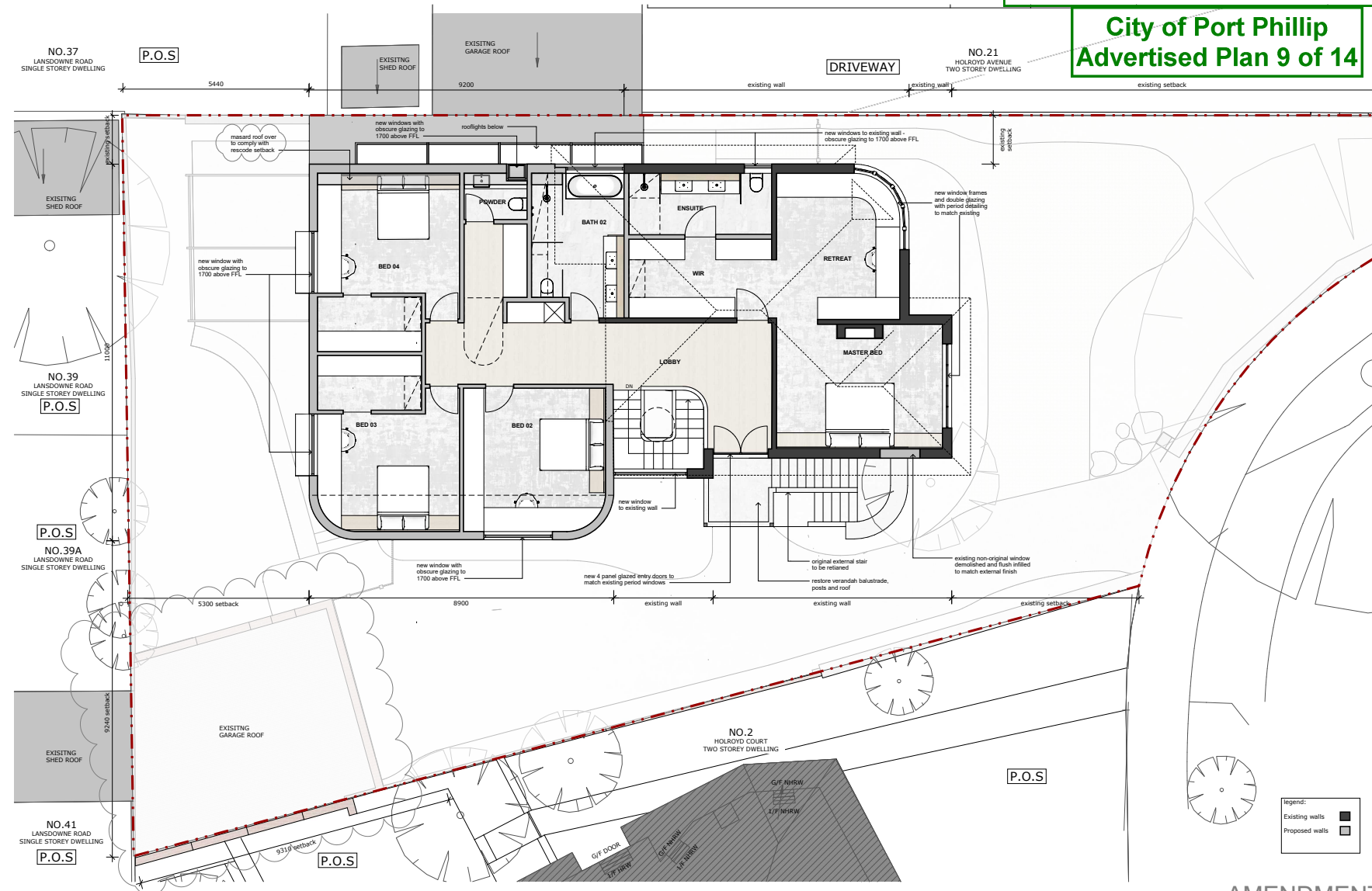


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DRAWING TITLE: GROUND FLOOR PLAN		SCALE: 1:100@A3	APPROVED: JM	DATE: 11.02.22	PROJECT: TEMPELHOF	
ADDRESS: 1 HOLROYD COURT, ST KILDA EAST		DRAWN: HP	JOB NO: 2101	DRAWING NO: TP102		REVISION: C

**City of Port Phillip
Advertised Plan 9 of 14**



REV	DATE	NOTES
A	11.02.22	Existing garage structure to be retained, detailed pergola over driveway and proposed external wall to first floor amended to a closed mansard roof to comply with noise
B	10.11.21	Updated location of staircase tank
A	26.10.21	Updated design in response to Heritage comments

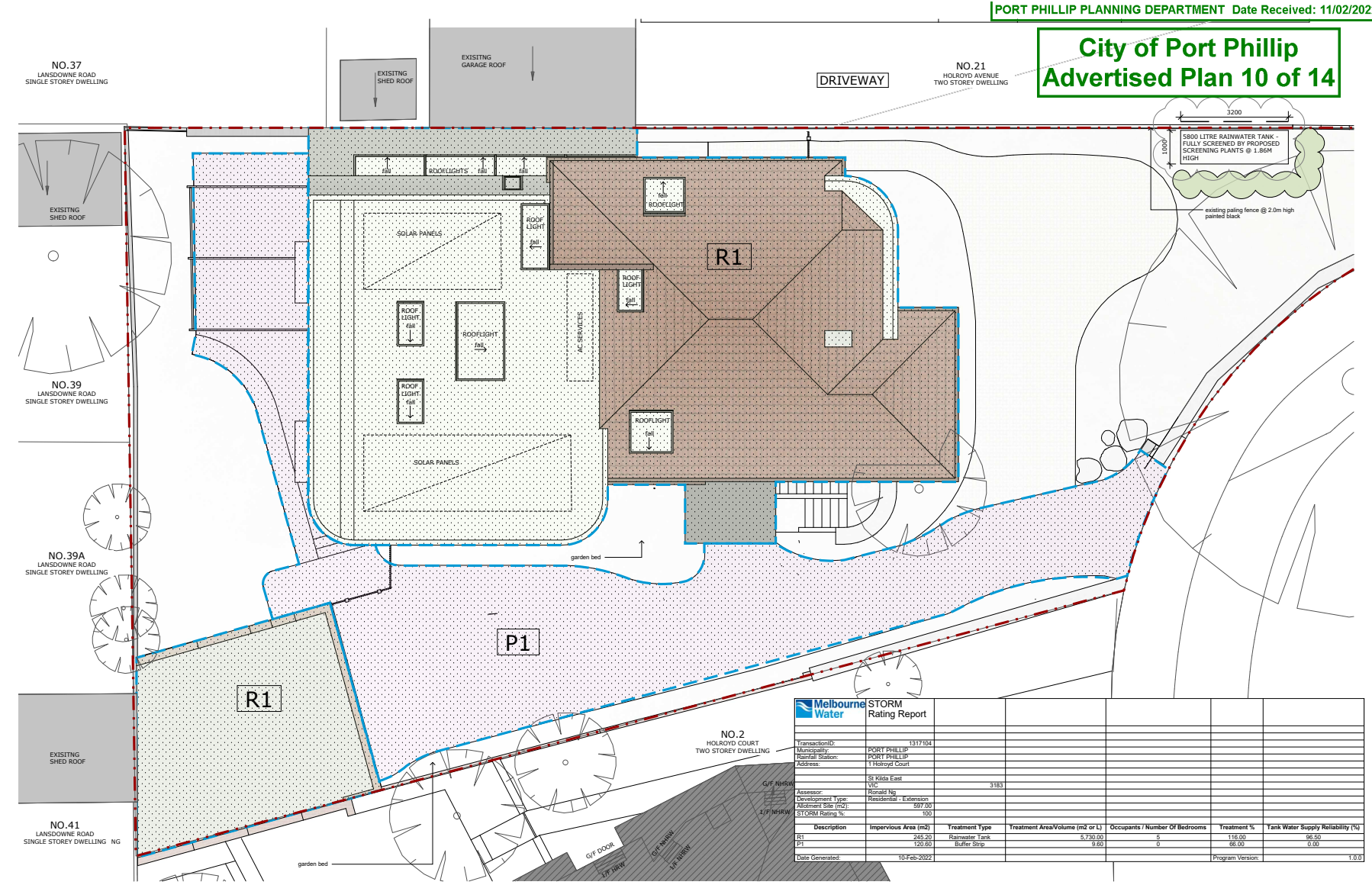


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DRAWING TITLE: FIRST FLOOR PLAN		SCALE: 1:100@A3	APPROVED: JM	DATE: 11.02.22	PROJECT: TEMPELHOF	
ADDRESS: 1 HOLROYD COURT, ST KILDA EAST		DRAWN: HP	JOB NO: 2101	DRAWING NO: TP103		REVISION: C

AMENDMENT



PORT PHILLIP PLANNING DEPARTMENT Date Received: 11/02/2022

City of Port Phillip
Advertised Plan 10 of 14

Melbourne Water STORM Rating Report						
Transaction ID:	1317104					
Municipality:	PORT PHILLIP					
Rainfall Station:	PORT PHILLIP					
Address:	1 Holroyd Court					
	St Kilda East					
VIC:	3183					
Assessor:	Ronald Ng					
Development Type:	Residential - Extension					
Allocated Site (m2):	597.00					
STORM Rating %:	100					
Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
R1	245.20	Rainwater Tank	5,750.00	3	116.00	61.50
P1	120.60	Buffer Strip	9.60	0	66.00	6.00
Date Generated:	10-Feb-2022				Program Version:	1.0.0

REV	DATE	NOTES
C	11.02.22	Existing garage structure to be retained, updated rainwater tank to suit new roof catchment areas and location of services on roof plan shown inductively
B	10.11.21	Updated location of rainwater tank
A	08.10.21	Updated design in response to heritage comments

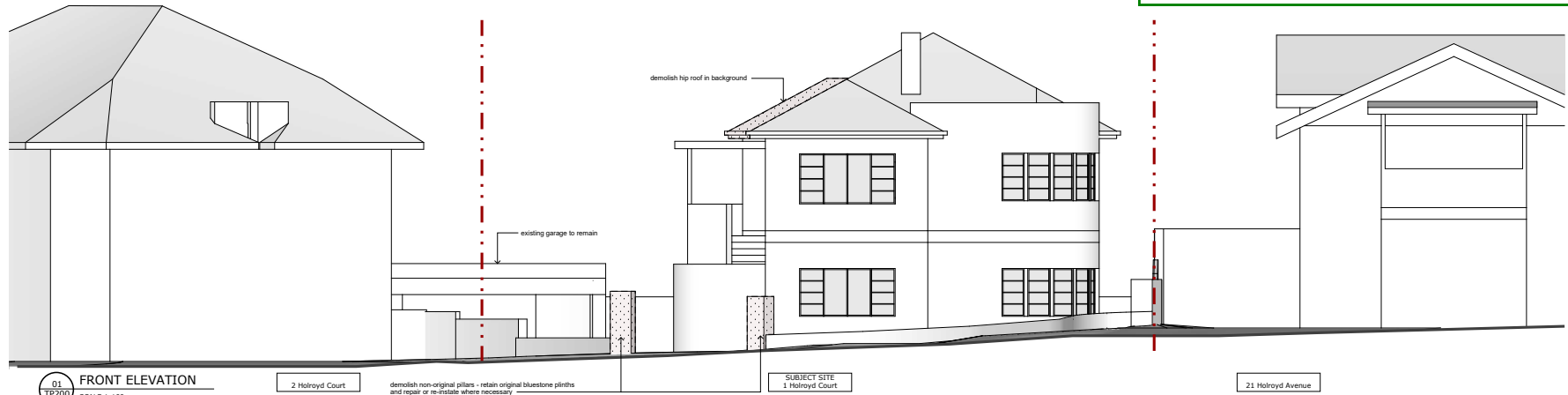


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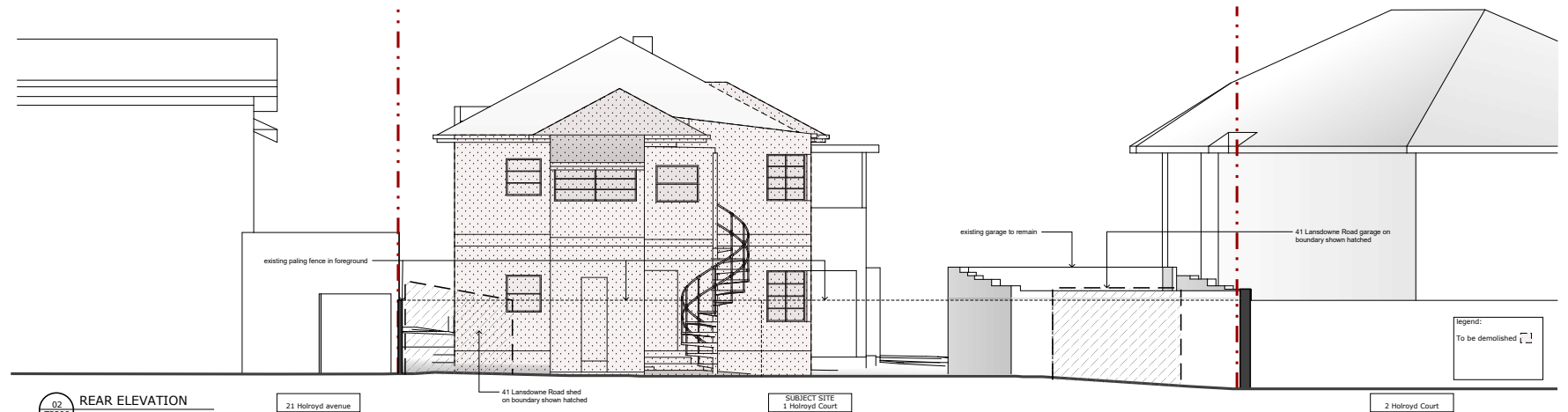


DRAWING TITLE:	SCALE:	APPROVED:	DATE:	PROJECT:
ROOF / STORM CALC PLAN	1:100@A3	JM	11.02.22	TEMPELHOF
ADDRESS:	DRAWN:	JOB NO:	DRAWING NO:	REVISION:
1 HOLROYD COURT, ST KILDA EAST	HP	2101	TP104	B

AMENDMENT



City of Port Phillip
Advertised Plan 11 of 14



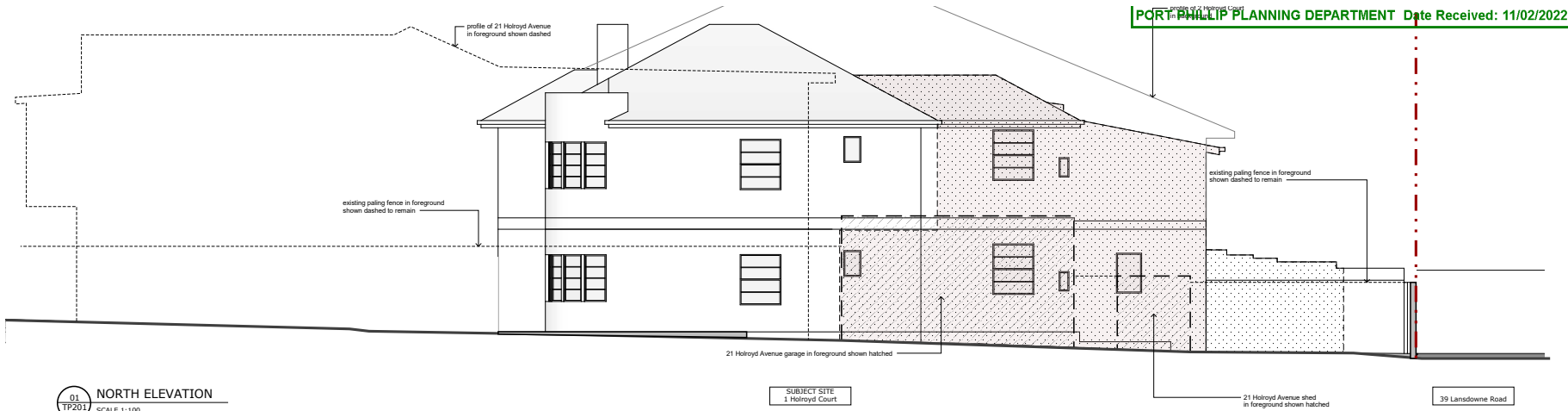
REV	DATE	NOTES
C	11.02.22	Existing garage structure to be retained
B	10.11.21	Updated note to original bluestone pilthns as requested by Council
A	06.10.21	Updated design in response to Heritage comments



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DRAWING TITLE: EXISTING FRONT & REAR ELEVATIONS	SCALE: 1:100@A3	APPROVED: JM	DATE: 11.02.22	PROJECT: TEMPELHOF
ADDRESS: 1 HOLROYD COURT, ST KILDA EAST	DRAWN: HP	JOB NO: 2101	DRAWING NO: TP200	REVISION: C

AMENDMENT



City of Port Phillip
Advertised Plan 12 of 14



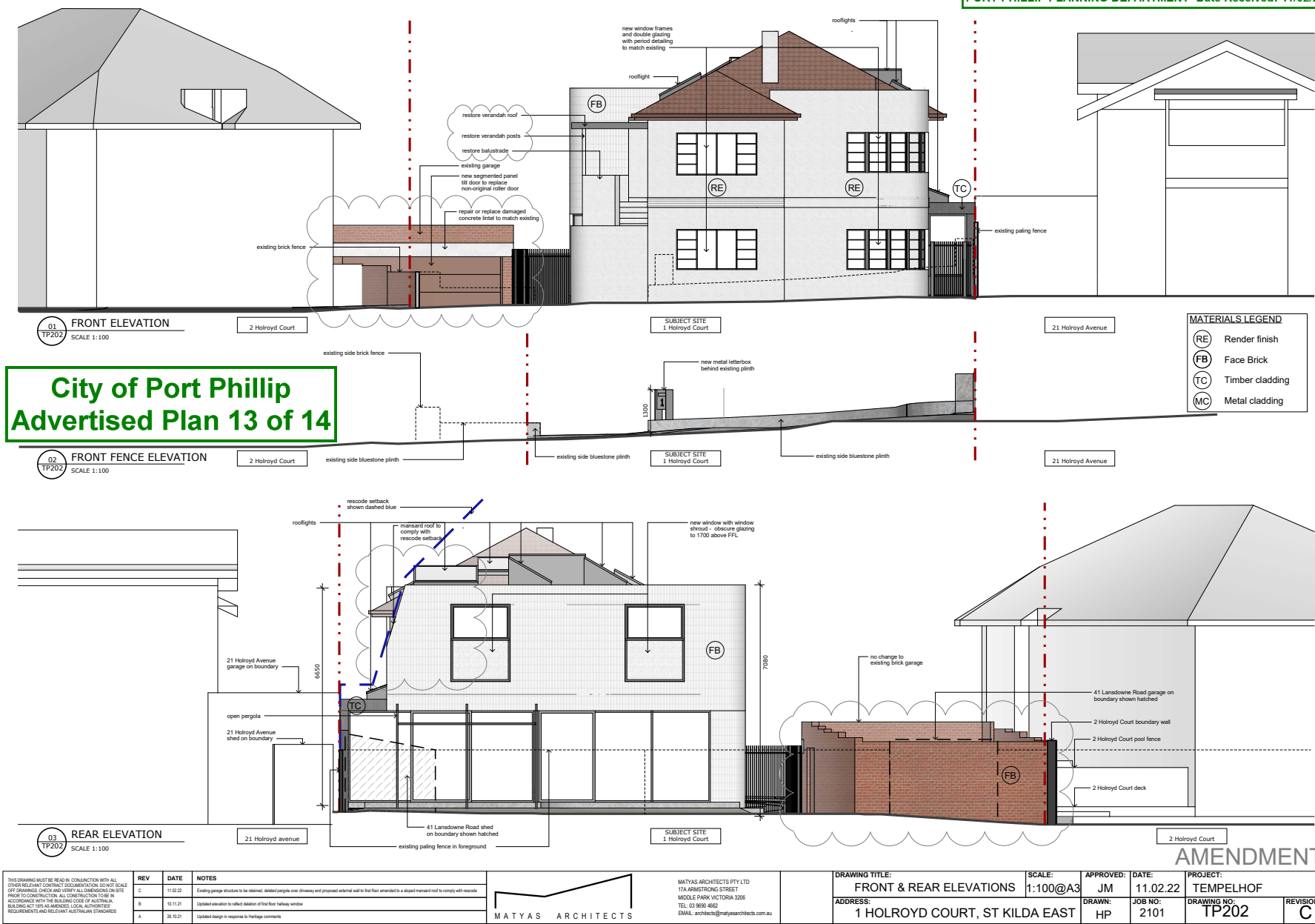
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REV	DATE	NOTES	
C	11.02.22	Existing garage structure to be retained	
B	10.11.21	Updated note to original blue stone plinth fence as requested by Council	
A	06.10.21	Updated design in response to Heritage comments	

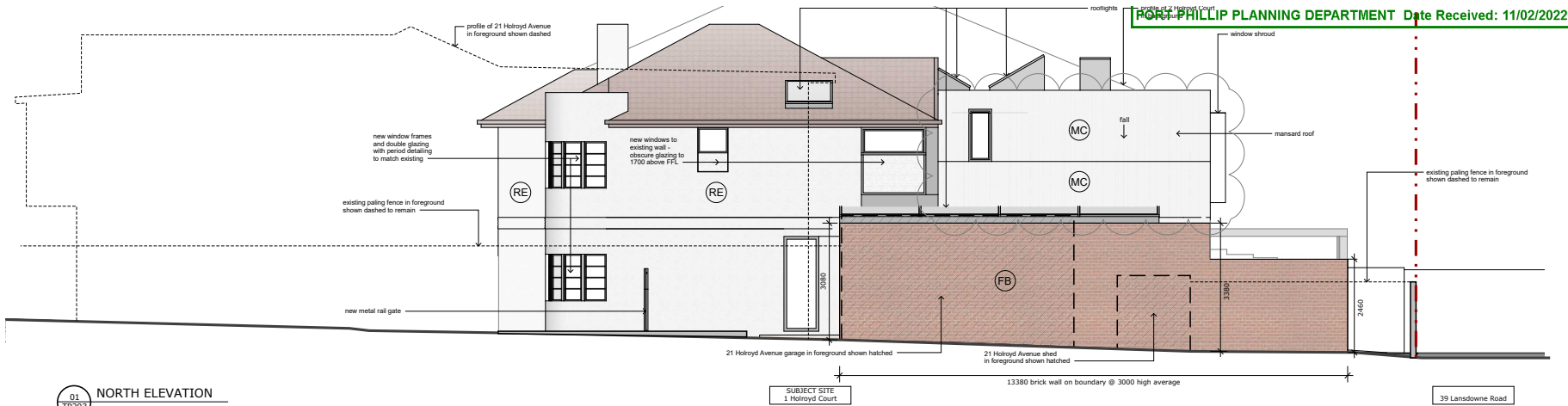


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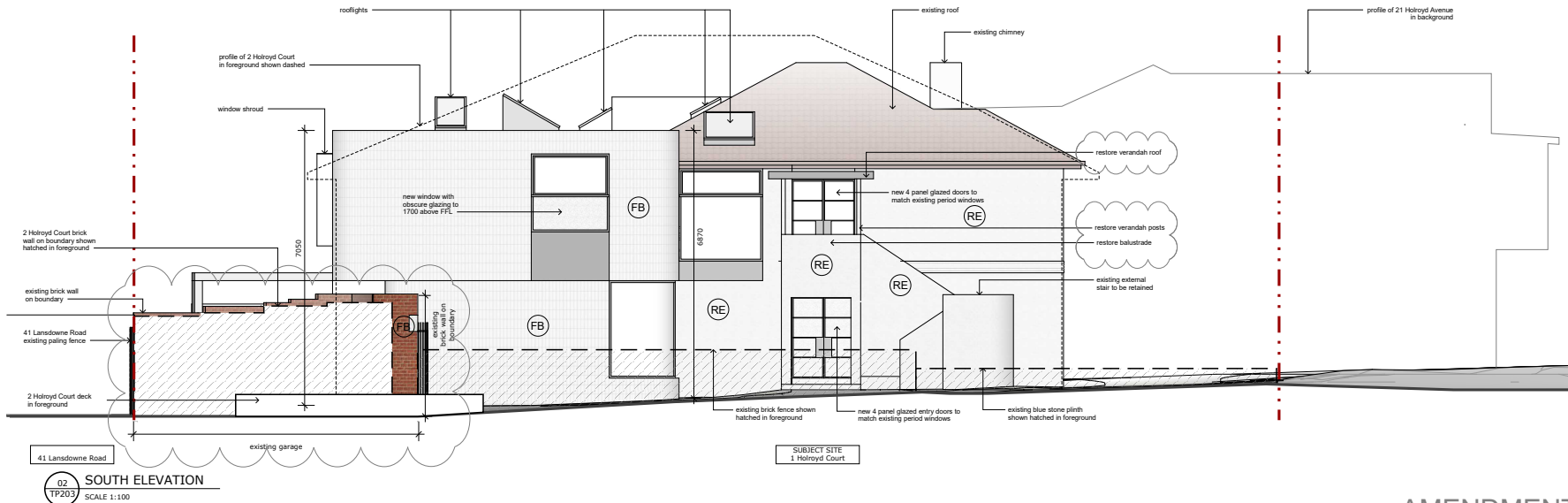
DRAWING TITLE:		SCALE:	APPROVED:	DATE:	PROJECT:	
EXISTING SIDE ELEVATIONS		1:100@A3	JM	11.02.22	TEMPELHOF	
ADDRESS:		DRAWN:	JOB NO:	DRAWING NO:	REVISION:	
1 HOLROYD COURT, ST KILDA EAST		HP	2101	TP201	A	

AMENDMENT





City of Port Phillip
Advertised Plan 14 of 14



REV	DATE	NOTES
C	11.02.22	Existing garage structure to be retained, dashed purple over driveway and proposed external wall to first floor amended to a sloped mansard roof to comply with records
B	10.11.21	Updated elevation to reflect deletion of first floor hallway window
A	26.12.21	Updated design in response to heritage comments



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DRAWING TITLE: SIDE ELEVATIONS	SCALE: 1:100@A3	APPROVED: JM	DATE: 11.02.22	PROJECT: TEMPELHOF
ADDRESS: 1 HOLROYD COURT, ST KILDA EAST	DRAWN: HP	JOB NO: 2101	DRAWING NO: TP203	REVISION: C

AMENDMENT